


Comhairle Contae Chill Mhantáin Wicklow County Council

**Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
Planning, Economic and Rural Development**

Áras An Chontae / County Buildings
Cill Mhantáin / Wicklow
Guthán / Tel: (0404) 20148
Faics / Fax: (0404) 69462
Rphost / Email plandev@wicklowcoco.ie
Suíomh / Website: www.wicklow.ie

 December 2024

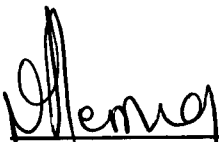
Planning & Design Services
Giffin's Way
Clonattin
Gorey
Co. Wexford

**RE: Declaration in accordance with Section 5 of the Planning & Development Acts
2000 (As Amended) – EX99/2024 – Altura Credit Union**

I enclose herewith Declaration in accordance with Article 5 (2) (A) of the Planning & Development Act 2000.

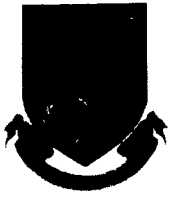
Where a Declaration is used under this Section any person issued with a Declaration under subsection (2) (a) may, on payment to An Bord Pleanála of such fee as may be prescribed, refer a declaration for review by the Board within four weeks of the date of the issuing of the declaration by the Local Authority.

Is mise, le meas,



ADMINISTRATIVE OFFICER
PLANNING ECONOMIC & RURAL DEVELOPMENT





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DECLARATION IN ACCORDANCE WITH ARTICLE 5 (2) (A) OF THE PLANNING & DEVELOPMENT ACT 2000 AS AMENDED

Applicant: Altura Credit Union

Location: Main Street, Avoca, Co. Wicklow

Reference Number: EX99/2024

CHIEF EXECUTIVE ORDER NO. CE/PERD/2024/1511 *ef*

Section 5 Declaration as to whether “the change of use from a credit union office to a dwelling unit” at Main Street, Avoca, Co. Wicklow constitutes exempted development within the meaning of the Planning and Development Act, 2000(as amended).

Having regard to:

- i. The details received on 07/11/2024 and Further Information received on 10/12/2024;
- ii. Sections 2 , 3 , and 4 of the Planning and Development Act 2000 (as amended);
- iii. Articles 6, 9, 10 (6), and Schedule 2 of the Planning and Development Regulations 2001 (as amended);
- iv. Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities : July 2023

Main Reasons with respect to Section 5 Declaration:

- a) The change of use from a Credit Union to use as a dwelling unit is development, having regard to section 3(1)(a) of the Planning & Development Act 2000 (as amended), as it would result in a material change of use given that the use as a permanent home would be different in character and the nature of the use would have material different planning considerations to use as a credit union.
- b) The Change of use from a Credit Union Office to a dwelling unit would be compliant with the provisions of Article 10 (6).

The Planning Authority considers that “the change of use from a credit union office to a dwelling unit” at Main Street, Avoca, Co. Wicklow is development and is exempted development within the meaning of the Planning & Development Act 2000 (as amended).

Signed:

Dida Henry
ADMINISTRATIVE OFFICER
PLANNING ECONOMIC & RURAL DEVELOPMENT

Dated *23rd* December 2024



WICKLOW COUNTY COUNCIL
PLANNING & DEVELOPMENT ACTS 2000 (As Amended)
SECTION 5
CHIEF EXECUTIVE ORDER NO. CE/PERD/2024/1505

Reference Number: EX99/2024

Name of Applicant: Altura Credit Union

Nature of Application: Section 5 Declaration request as to whether or not: -
"the change of use from a credit union office to a dwelling unit" is or is not development and is or is not exempted development.

Location of Subject Site: Main Street, Avoca, Co. Wicklow

Report from Billy Slater, AP & Edel Bermingham, SEP

With respect to the query under section 5 of the Planning & Development Act 2000 as to whether "the change of use from a credit union office to a dwelling unit" at Main Street, Avoca, Co. Wicklow is or is not exempted development within the meaning of the Planning & Development Act 2000 (as amended).

Having regard to:


- i. The details received on 07/11/2024 and Further Information received on 10/12/2024;
- ii. Sections 2, 3, and 4 of the Planning and Development Act 2000 (as amended);
- iii. Articles 6, 9, 10 (6), and Schedule 2 of the Planning and Development Regulations 2001 (as amended);
- iv. Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities : July 2023

Main Reason with respect to Section 5 Declaration:

- a) The change of use from a Credit Union to use as a dwelling unit is development, having regard to section 3(1)(a) of the Planning & Development Act 2000 (as amended), as it would result in a material change of use given that the use as a permanent home would be different in character and the nature of the use would have material different planning considerations to use as a credit union.
- b) The Change of use from a Credit Union Office to a dwelling unit would be compliant with the provisions of Article 10 (6).

Recommendation:

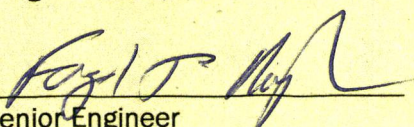
The Planning Authority considers that "the change of use from a credit union office to a dwelling unit" at Main Street, Avoca, Co. Wicklow is development and is exempted development as recommended in the report by the SEP.

Signed 

Dated 23rd day of December 2024

ORDER:

I HEREBY DECLARE THAT "the change of use from a credit union office to a dwelling unit" at Main Street, Avoca, Co. Wicklow is development and is exempted development within the meaning of the Planning & Development Act 2000 (as amended).

Signed: 
Senior Engineer
Planning, Economic & Rural Development

Dated 23rd day of December 2024



**WICKLOW COUNTY COUNCIL
PLANNING DEPARTMENT**

To: Fergal Keogh S.E / Suzanne White S.E.P. / Edel Bermingham S.E.P.
From: Billy Slater A.P.
Type: Section 5 Application
REF: EX 99/2024
Applicant: Altura Credit Union Ltd
FI Received: 10/12/2024
Decision Due Date: 08/01/2025
Address: Main Street, Avoca, Co. Wicklow
Exemption Query: Change of use from a Credit Union Office to a dwelling unit.

Assessment :

The issued further information sought clarification with regard to the following.

1. In order to confirm that the change of use comes within the definition of Article 10(6) of the Planning and Development Regulations 2001(as amended) further information is required concerning:

- a) How long the existing structure has been vacant.*
- b) The date on which the change of use will be completed.*
- c) Final floor plan detailing compliance with the minimum floor area requirements and minimum storage space requirements of the "Sustainable Urban Housing: Design Standards for New Apartments — Guidelines for Planning Authorities" issued under section 28 of the Act or any subsequent updated or replacement guidelines.*

In response to above concerns, the applicant has provided the following information;

- The Existing structure has been vacant since September 12th 2022.
- It is expected to complete the works by February 2025.
- Amended floor plans provided.

In light of the Further Information submitted it is noted that the property has been vacant for in excess of two years as required per Article 10 (6) (c). As per the requirements of Article 10 (6) (d), the development is to be completed within the relevant period (i.e. completed prior to 31 December 2025). However, on review of the floor plans and GFA details provided it is concluded that the proposal would not be in compliance with the minimum floor area requirements and minimum storage space requirements of the "Sustainable Urban Housing: Design Standards for New Apartments — Guidelines for Planning Authorities" noting that the development provides below the aggregate minimum floor area required for a one-bed apartment (see table of compliance below).

Apartment / Room	Minimum Requirement For 1 bed apartment	Proposed dwelling
Overall Apartment Area	45sqm	53sqm
Bedroom Area (aggregate)	11.4sqm	11.2sqm
Bedroom Width	2.8m	2.8m

Living/Dining/Kitchen Area	23sqm	c.28.5sqm total
Separate kitchen	6.5sqm	7.5sqm
Living/Dining/Kitchen Width	3.3m	4m
Storage Area	3sqm	3sqm

Conclusion:

With respect to the query under Section 5 of the Planning and Development Act 2000 (as amended), as to whether the;

- Change of use from a Credit Union Office to a dwelling unit

at Main Street, Avoca, Co. Wicklow is or is not exempted development:

The Planning Authority considers that:

The change of use from a Credit Union Office to a dwelling unit at Main Street, Avoca, Co. Wicklow **is Development and is Not Exempted Development.**

Main Considerations with respect to Section 5 Declaration:

- The details received on 07/11/2024 and Further Information received on 10/12/2024;
- Sections 2, 3, and 4 of the Planning and Development Act 2000 (as amended);
- Articles 6, 9, 10 (6), and Schedule 2 of the Planning and Development Regulations 2001 (as amended);
- Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities : July 2023

Main Reasons with respect to Section 5 Declaration:

- (a) The change of use from a Credit Union to use as a dwelling unit is development, having regard to section 3(1)(a) of the Planning & Development Act 2000 (as amended), as it would result in a material change of use given that the use as a permanent home would be different in character and the nature of the use would have material different planning considerations to use as a credit union.
- (b) The Change of use from a Credit Union Office to a dwelling unit would ~~not~~ be compliant with the provisions of Article 10 (6) ~~(d)~~ of the Planning and Development Regulations 2001 (as amended) ~~as it would not achieve the minimum floor area requirements and minimum storage space requirements of the “Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities”.~~



Billy Slater A.P.

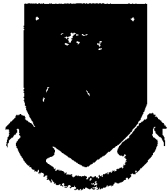
20/12/2024

Note the report of the Assistant Planner, however the bedroom is indicated as a single bedroom, and the floor area for a single room is defined as having a minimum floor area of 7.1sqm under the SU II Design Standards for Apartments. the 11.4sqm relates to a double bed, bedroom. The change of use is therefore exempted development as it would meet the requirements of Article 10(6).

Bill Cunningham SEP

23 12 2024

*Issue determined as recommended
by T. King L SEP
23/12/24*



Comhairle Contae Chill Mhantáin
Wicklow County Council

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MEMORANDUM

WICKLOW COUNTY COUNCIL

TO: Billy Slater
Assistant Planner

FROM: Nicola Fleming
Staff Officer

RE:- Application for Certificate of Exemption under Section 5 of the
Planning and Development Acts 2000 (as amended).
EX99/2024

I enclose herewith application for Section 5 Declaration received completed on 11/11/2024 along with FI received on 10/12/2024.

The due date on this declaration is 8th January 2025.



Staff Officer
Planning, Economic & Rural Development





COMHAIRLE CONTAE CHILL Mhantáin
Wicklow County Council

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12th December 2025

Planning & Design Services
Griffin's Way
Clonattin
Gorey
Co. Wexford

RE: Application for Certificate of Exemption under Section 5 of the Planning and Development Acts 2000 (as amended). – EX99/2024 – Altura Credit Union, Main Street, Avoca, Co. Wicklow

A Chara

I wish to acknowledge receipt on 11/11/2024 details supplied by you in respect of the above Section 5 application and Further Information received on 10/12/2024. A decision is due in respect of this application by 8th January 2025.

Mise, le meas

Nicola Fleming
Staff Officer
Planning, Economic & Rural Development



Tá an doiciméad seo ar fáil i bhformáidí eile ar iarratas
This document is available in alternative formats on request

Ba chóir gach comhfhreagras a sheoladh chuig an Stuarthóir Seirbhísi, Pleanáil, Forbairt Eacnamaíochta agus Tuaithe
All correspondence should be addressed to the Director of Services, Planning, Economic and Rural Development.



Planning & Design Services;

Architectural Technologist & Chartered Building Engineers
Griffin's Way, Clonattin,
Gorey, Co. Wexford.
Telephone 087-3648844



Planning Section,
Wicklow County Council,
County Buildings,
WICKLOW

9th December 2024

Re; Application for Certificate of Exemption EX99/2024

Dear Sir or Madam,

We refer to your letter of the 3rd December regarding this application and now wish to deal with each item as raised in same:

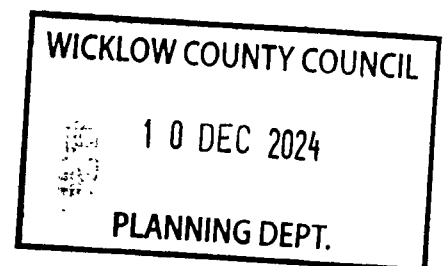
- A) The existing structure has been vacant since September 12th 2022.
- B) It is expected to complete the change of use works by February 2025
- C) We attach an amended Floor Plan of Existing Building
 - 1: Internal floor area of 53 sq m internally. (45 min recommended)
 - 2: We propose to develop a One Bedroom Dwelling,
 - 3: We propose an internal storage space of 3.0 sq m.
 - 4: We propose an external domestic store of 7.2 sq m
 - 5: There is an open area to the rear of the building of circa 84 sq m.
 - 6: Ample space for to park 2 cars to front of building

To conclude we trust that we have provided the information you require to make a decision on this application. If you require any further clarification we will be glad to provide same.

Yours sincerely,

PLANNING & DESIGN SERVICES,

Thomas A Fortune,
B.Sc (Hons) Sustainable Architectural Technology
Chartered Building Engineer.
Principal.





Comhairle Contae Chill Mhantáin Wicklow County Council

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3rd December 2024

**Planning & Design
Clonattin
Gorey
Co. Wexford**

RE: Application for Certificate of Exemption under Section 5 of the Planning and Development Acts 2000 (as amended). – EX99/2024 for Altura Credit Union Ltd, Avoca

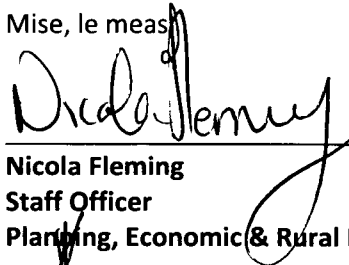
A Chara

In accordance with Section 5(1)(b) of the Planning and Development Act 2000(as amended) the following information is requested to fully assess the query with respect of your application under Section 5 of the Planning and Development Act 2000(as amended), received on 11th November 2024.

In order to confirm that the change of use comes within the definition of Article 10(6) of the Planning and Development Regulations 2001(as amended) further information is required concerning:

- a) How long the existing structure has been vacant.
- b) The date on which the change of use will be completed.
- c) Final floor plan detailing compliance with the minimum floor area requirements and minimum storage space requirements of the "Sustainable Urban Housing: Design Standards for New Apartments — Guidelines for Planning Authorities" issued under section 28 of the Act or any subsequent updated or replacement guidelines.

Mise, le meas



Nicola Fleming
Staff Officer
Planning, Economic & Rural Development



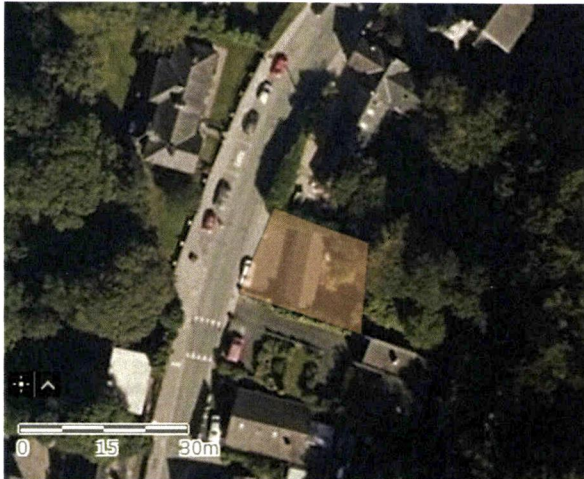


**WICKLOW COUNTY COUNCIL
PLANNING DEPARTMENT**

To: Fergal Keogh S.E / Suzanne White S.E.P. / Edel Bermingham S.E.P.
From: Billy Slater A.P.
Type: Section 5 Application
REF: EX 99/2024
Applicant: Altura Credit Union Ltd
Date of Application: 07/11/2024
Decision Due Date: 08/11/2024
Address: Main Street, Avoca, Co. Wicklow
Exemption Query: Change of use from a Credit Union Office to a dwelling unit.

Application Site: The application site is located on the Main Street of the level 6 settlement of Avoca Village, and is occupied by a detached single storey structure current in use as a Credit Union, with parking facilities to the front and yard to the rear. The application site is located within a 'Primary Development Area' zoning and is bound by private dwellings to the north and south, with woodlands present to the rear (east).

Aerial / Site Image



Relevant Planning History:

Ref 81/6469
Applicant Avonmore Credit Union
Development Alteration and extension to premise
Decision Grant

Ref 82/8138
Applicant Avonmore Credit Union
Development Alteration to shop/store and credit union
Decision Grant

Question:

With respect to the query under Section 5 of the Planning and Development Act 2000 (as amended), as to whether the;

- Change of use from a Credit Union Office to a dwelling unit

at Main Street, Avoca, Co. Wicklow is or is not exempted development:

Legislative Context:

Planning and Development Act 2000 (as amended)

Section 2(1) of the Act states the following in respect of the following:

“structure” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and—

(a) where the context so admits, includes the land on, in or under which the structure is situate, and

“works” includes Any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal...

Section 3(1) of the Act states the following in respect of ‘development’:

“In this Act, ‘development’ means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.”

Section 4 sets out the types of works that while considered ‘development’, can be considered ‘exempted development’ for the purposes of the Act.

Section 4 (1) (h) is relevant for the purposes of this declaration:

“development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.”

Section 4(2) makes provision for ministerial regulations to set out further exemptions. The 2001 Planning Regulations as amended derive from this section and designate further works as being exempted development for the purposes of the act.

Planning and Development Regulations, 2001 (as amended)

Article 6(1) states that certain classes of development which are specified in Schedule 2 shall be exempted development for the purposes of the Act, subject to compliance with any associated conditions and limitations;

Article 9 (1):

Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) *If the carrying out of such development would—*

(i) *Contravene a condition attached to a permission under Act or be inconsistent with any use specified in a permission under the Act,*

(ii) *consist of or comprise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,*

(iii) *Endanger public safety by reason of traffic hazard or obstruction of road users,*

And so on,

Article 10

(1) Development which consists of a change of use within any one of the classes of use specified in Part 4 of Schedule 2, shall be exempted development for the purposes of the Act, provided that the development, if carried out would not—

- a) involve the carrying out of any works other than works which are exempted development,
- b) contravene a condition attached to a permission under the Act,
- c) be inconsistent with any use specified or included in such a permission, or
- d) be a development where the existing use is an unauthorised use, save where such change of use consists of the resumption of a use which is not unauthorised and which has not been abandoned.

(6) (a) In this sub-article—

'habitable room' means a room used for living or sleeping purposes but does not include a kitchen that has a floor area of less than 6.5 square metres;

'relevant period' means the period from 8 February 2018 until 31 December 2025.

(b) This sub-article relates to a proposed development, during the relevant period, that consists of a change of use to residential use from Class 1, 2, 3, 6 or 12 of Part 4 to Schedule 2

(c) Notwithstanding sub-article (1), where in respect of a proposed development referred to in paragraph (b)—

- i. the structure concerned was completed prior to the making of the Planning and Development (Amendment) (No. 2) Regulations 2018,
- ii. the structure concerned has at some time been used for the purpose of its current use class, being Class 1, 2, 3, 6 or 12, and
- iii. the structure concerned, or so much of it that is the subject of the proposed development, has been vacant for a period of 2 years or more immediately prior to the commencement of the proposed development,

then the proposed development for residential use, and any related works, shall be exempted development for the purposes of the Act, subject to the conditions and limitations set out in paragraph (d).

(d)

- i. The development is commenced and completed during the relevant period.
- ii. Subject to sub-paragraph (iii), any related works, including works as may be required to comply with sub-paragraph (vii), shall –
 - I. primarily affect the interior of the structure,
 - II. retain 50 per cent or more of the existing external fabric of the building, and
 - III. not materially affect the external appearance of the structure so as to render its appearance inconsistent with the character of the structure or of neighbouring structures.
- iii. Any related works for the alteration of existing ground floor shop fronts shall be consistent with the fenestration details and architectural and streetscape character of the remainder of the structure or of neighbouring structures.
- iv. No development shall consist of or comprise the carrying out of works to the ground floor area of any structure which conflicts with any objective of the relevant local authority development plan or local area plan, pursuant to the Part 1 of the First Schedule to the Act, for such to remain in retail use, with the exception of any works the purpose of which is to solely provide on street access to the upper floors of the structure concerned.

- v. *No development shall consist of or comprise the carrying out of works which exceeds the provision of more than 9 residential units in any structure.*
 - vi. *Dwelling floor areas and storage spaces shall comply with the minimum floor area requirements and minimum storage space requirements of the “Sustainable Urban Housing: Design Standards for New Apartments – Guidelines for Planning Authorities” issued under section 28 of the Act or any subsequent updated or replacement guidelines.*
 - vii. *Rooms for use, or intended for use, as habitable rooms shall have adequate natural lighting.*
 - viii. *No development shall consist of or comprise the carrying out of works to a protected structure, as defined in section 2 of the Act, save where the relevant planning authority has issued a declaration under section 57 of the Act to the effect that the proposed works would not materially affect the character of the structure or any element, referred to in section 57(1)(b) of the Act, of the structure.*
 - ix. *No development shall contravene a condition attached to a permission under the Act or be inconsistent with any use specified or included in such a permission.*
 - x. *No development shall relate to any structure in any of the following areas:*
 - I. *an area to which a special amenity area order relates;*
 - II. *an area of special planning control;*
 - III. *within the relevant perimeter distance area, as set out in Table 2 of Schedule 8, of any type of establishment to which the Major Accident Regulations apply.*
 - xi. *No development shall relate to matters in respect of which any of the restrictions set out in sub-paragraph (iv), (vii), (viiA), (viiB), (viiC), (viii) or (ix) of article 9(1)(a), or paragraph (c) or (d) of article (9)(1), would apply.*
 - xii. *No development shall consist of or comprise the carrying out of works for the provision of an onsite wastewater treatment and disposal system to which the code of practice made by the Environmental Protection Agency pursuant to section 76 of the Environmental Protection Agency Act 1992 relates and entitled Code of Practice – Wastewater Treatment and Disposal Systems Serving Single Houses together with any amendment to that Code or any replacement for it.*
- (e)
- i. *Where a person proposes to undertake development to which paragraph (b) relates, then he or she shall in the case of development relating to Class 1, 2, 3, 6 or 12 of Part 4 to Schedule 2, notify in writing the planning authority in whose functional area that the change of use will occur not less than 14 days prior to the commencement of the works related to the proposed change of use and any related works;*
 - ii. *Details of each notification under subparagraph (i), which shall include information on—*
 - I. *the location of the structure,*
 - II. *the number of residential units involved, including the unit sizes and number of bedrooms in each unit, and*
 - III. *the Eircode for the relevant property,**shall be entered in a record by the planning authority maintained for this purpose and the record shall be available for inspection at the offices of the planning authority during office hours and on the planning authority’s website.*
 - iii. *During the years 2019, 2020, 2021, 2022, 2023, 2024, 2025 and 2026 each planning authority shall provide information to the Minister on the number of notifications received by it under this paragraph during the preceding calendar year, including details of the information so received for the purposes of subparagraph (ii).*

Part 4 (Classes 1-11) of Schedule 2 details classes of development of which a change of use within any one of the classes of use specified shall be exempted development for the purposes of the Act.

CLASS 2

Use for the provision of—

(a) financial services,

(b) professional services (other than health or medical services),

(c) any other services (including use as a betting office),

where the services are provided principally to visiting members of the public.

Details submitted in support of the application:

- House floorplans and elevations (inclusive of extension which was clarified is not to be assessed under the subject Section 5 assessment).
- Site layout plan and site location map.

Assessment:

The Section 5 declaration application seeks an answer with respect to the following question:

Whether the change of use from a Credit Union Office to a dwelling unit at Main Street, Avoca, Co. Wicklow is or is not exempted development.

The first assessment must be whether or not the proposal outlined above constitutes development within the remit of Section 3 of the Planning and Development Act 2000 (as amended). In this regard, Section 3 of the Planning and Development Act provides that:

“development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

As such the change of use from a Credit Union to use as a dwelling is development, having regard to section 3(1)(a) of the Planning & Development Act 2000 (as amended), as it would result in a material change of use given that the use as a permanent home would be different in character and the nature of the use would have material different planning considerations to use as a credit union.

The second stage of the assessment is to determine whether or not the proposal would be exempted development under the Planning and Development Act 2000 (as amended) or it’s associated Regulations. Article 10 (6) of the Planning and Development Regulations 2001 (as amended) relates to the change of use from a number of specified classes of uses to that of a residential use. The below assessment sets out compliance with respect to each element of Article 10 (6):

Article 10 (6) (b)	
<i>This sub-article relates to a proposed development, during the relevant period, that consists of a change of use to residential use from Class 1, 2, 3, 6 or 12 of Part 4 to Schedule 2</i>	Yes- proposals is for the change of use from credit union (Class 2(a)) to residential.
Article 10 (6) (c)	
<i>(i) the structure concerned was completed prior to the making of the Planning and Development (Amendment) (No. 2) Regulations 2018,</i>	Yes - structure was completed prior to the 8 th February 2018.

<i>(ii) the structure concerned has at some time been used for the purpose of its current use class, being Class 1, 2, 3, 6 or 12, and</i>	Yes – previous use as a Credit Union falling within Class 2(a) of Schedule 2: Part 4 of the Planning Regulations 2001 (as amended).
<i>(iii) the structure concerned, or so much of it that is the subject of the proposed development, has been vacant for a period of 2 years or more immediately prior to the commencement of the proposed development,</i>	Not stated, street view imagery shows structure vacant as of June 2023.

Article 10 (6) (d)	
<i>(i) The development is commenced and completed during the relevant period.</i>	The relevant period is the 18th February 2018 until 31 December 2025 - no indication when works will be completed.
<i>(ii) Subject to sub-paragraph (iii), any related works, including works as may be required to comply with sub-paragraph (vii), shall – (I) primarily affect the interior of the structure, (II) retain 50 per cent or more of the existing external fabric of the building, and (III) not materially affect the external appearance of the structure so as to render its appearance inconsistent with the character of the structure or of neighbouring structures.</i>	The works will primarily affect the interior of the structure. In excess of 50 per cent of the existing external fabric of the building is to be retained. The proposed front elevation is deemed to be consistent with the character of the structure or of neighbouring structures.
<i>(iii) Any related works for the alteration of existing ground floor shop fronts shall be consistent with the fenestration details and architectural and streetscape character of the remainder of the structure or of neighbouring structures.</i>	Proposed front elevation is consistent with the fenestration details and architectural and streetscape character of the remainder of the structure or of neighbouring structures.
<i>(iv) No development shall consist of or comprise the carrying out of works to the ground floor area of any structure which conflicts with any objective of the relevant local authority development plan or local area plan, pursuant to the Part 1 of the First Schedule to the Act, for such to remain in retail use, with the exception of any works the purpose of which is to solely provide on street access to the upper floors of the structure concerned.</i>	Yes.
<i>(v) No development shall consist of or comprise the carrying out of works which exceeds the provision of more than 9 residential units in any structure.</i>	Single unit only.
<i>(vi) Dwelling floor areas and storage spaces shall comply with the minimum floor area requirements and minimum storage space requirements of the “Sustainable Urban Housing: Design Standards</i>	Final floor plans areas are not identified as it is noted within the application that the subject section 5 application relates to the change of use of the structure only and excludes the shown rear

<i>for New Apartments – Guidelines for Planning Authorities” issued under section 28 of the Act or any subsequent updated or replacement guidelines.</i>	extensions.
<i>(vii) Rooms for use, or intended for use, as habitable rooms shall have adequate natural lighting.</i>	Yes
<i>(viii) No development shall consist of or comprise the carrying out of works to a protected structure, as defined in section 2 of the Act, save where the relevant planning authority has issued a declaration under section 57 of the Act to the effect that the proposed works would not materially affect the character of the structure or any element, referred to in section 57(1)(b) of the Act, of the structure.</i>	N/A
<i>(ix) No development shall contravene a condition attached to a permission under the Act or be inconsistent with any use specified or included in such a permission</i>	The development will not contravene a condition.
<i>(x) No development shall relate to any structure in any of the following areas: (I) an area to which a special amenity area order relates; (II) an area of special planning control; (III) within the relevant perimeter distance area, as set out in Table 2 of Schedule 8, of any type of establishment to which the Major Accident Regulations apply.</i>	N/A
<i>(xi) No development shall relate to matters in respect of which any of the restrictions set out in sub-paragraph (iv), (vii), (viiA), (viiB), (viiC), (viii) or (ix) of article 9(1)(a), or paragraph (c) or (d) of article (9)(1), would apply.</i>	N/A
<i>(xii) No development shall consist of or comprise the carrying out of works for the provision of an onsite wastewater treatment and disposal system to which the code of practice made by the Environmental Protection Agency pursuant to section 76 of the Environmental Protection Agency Act 1992 relates and entitled Code of Practice – Wastewater Treatment and Disposal Systems Serving Single Houses together with any amendment to that Code or any replacement for it.</i>	N/A

Conclusion:

With respect to the query under Section 5 of the Planning and Development Act 2000 (as amended), as to whether the;

- Change of use from a Credit Union Office to a dwelling unit

at Main Street, Avoca, Co. Wicklow is or is not exempted development:

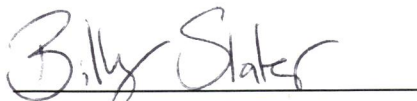
The Planning Authority considers that:

The change of use from a Credit Union Office to a dwelling unit at Main Street, Avoca, Co. Wicklow is development and that Further Information is required in order to determine if the development is Exempted Development as from review it would appear that the change of use would come within the provisions of Article 10(6) subject to confirmation of vacancy, completion of works, and submission of final floor plan detailing compliance with the minimum floor area requirements and minimum storage space requirements of the “Sustainable Urban Housing: Design Standards for New Apartments — Guidelines for Planning Authorities” issued under section 28 of the Act or any subsequent updated or replacement guidelines.

Recommendation:


FURTHER INFORMATION

1. In order to confirm that the change of use comes within the definition of Article 10(6) of the Planning and Development Regulations 2001(as amended) further information is required concerning:
 - a) How long the existing structure has been vacant.
 - b) The date on which the change of use will be completed.
 - c) Final floor plan detailing compliance with the minimum floor area requirements and minimum storage space requirements of the “Sustainable Urban Housing: Design Standards for New Apartments — Guidelines for Planning Authorities” issued under section 28 of the Act or any subsequent updated or replacement guidelines.



Billy Slater A.P.

02/12/2024



2/12/2023

MEMORANDUM

WICKLOW COUNTY COUNCIL

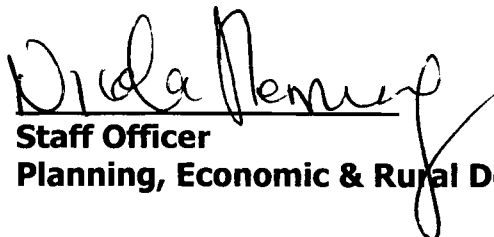
**TO: Billy Slater
Assistant Planner**

**FROM: Nicola Fleming
Staff Officer**

**RE:- Application for Certificate of Exemption under Section 5 of the
Planning and Development Acts 2000 (as amended).
EX99/2024**

I enclose herewith application for Section 5 Declaration received completed on 11/11/2024

The due date on this declaration is 8th December 2024.


Staff Officer
Planning, Economic & Rural Development

icola Fleming

From: Nicola Fleming
Sent: Wednesday 13 November 2024 09:20
To: 'Tom Fortune'
Subject: RE: Application for Exemption from Planning Permission

Thank you for the clarification Tom.

I acknowledge receipt of your Section 5 application which is due on 08/12/2024

From: Tom Fortune [mailto:tfortune@alturacu.ie]
Sent: Tuesday 12 November 2024 14:47
To: Nicola Fleming
Cc: Thomas Fortune
Subject: Application for Exemption from Planning Permission

External Sender - From: (Tom Fortune <tfortune@alturacu.ie>)
This message came from outside your organisation.

CAUTION This email originated from outside Wicklow County Council. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Ms Fleming,

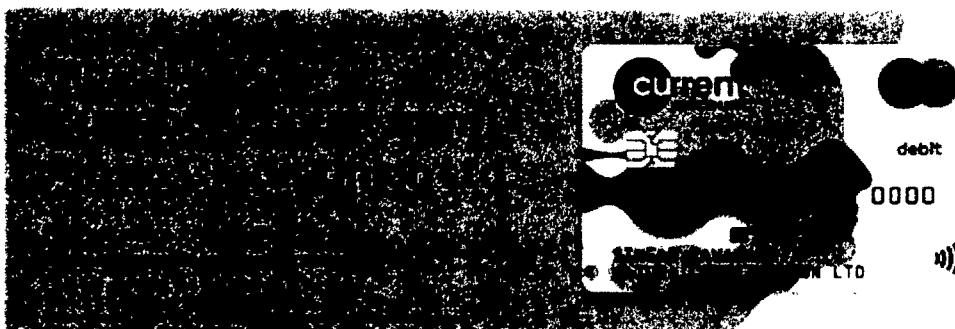
We refer to our Section 5 Application and wish to confirm the following:

We do NOT require an exemption certificate for the proposed extensions to the Rear of the building at this time,

I trust that this is the information you require.

Tom Fortune. B.Sc(Hons)Arch ,
Facilities Manager
Chartered Building Engineer

087 3648844



This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

icola Fleming

From: Tom Fortune <tfortune@alturacu.ie>
Sent: Tuesday 12 November 2024 12:50
To: Nicola Fleming
Cc: Thomas Fortune
Subject: RE: EX99/2024 for Altura Credit Union, Main Street, Avoca, Co. Wicklow

External Sender - From: (Tom Fortune <tfortune@alturacu.ie>)

This message came from outside your organisation.

CAUTION This email originated from outside Wicklow County Council. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Good morning Nicola,

Thank you for your email, to be truthful I am not sure as to how best I can answer the question but the following sets out the need for this application.

“Change of Use from a Credit Union Office to a dwelling unit and referring to our Self Declaration (Notification WCC 30) we need confirmation that we meet the exemptions set out in the Planning & Development Act (Exempted Development) Regulations 2022 for this property to be used as a dwelling”

I trust that the above will answer you question.

Yours sincerely,

Tom Fortune

From: Thomas Fortune <tomfortunebcms@gmail.com>
Sent: Tuesday 12 November 2024 08:08
To: Tom Fortune <tfortune@alturacu.ie>
Subject: Fwd: EX99/2024 for Altura Credit Union, Main Street, Avoca, Co. Wicklow

CAUTION: This email originated from outside of the Credit Union. Do not click links or open attachments unless you recognize the sender and know the content is safe.

----- Forwarded message -----

From: Nicola Fleming <NFleming@wicklowcoco.ie>
Date: Mon, 11 Nov 2024 at 11:10
Subject: EX99/2024 for Altura Credit Union, Main Street, Avoca, Co. Wicklow
To: Thomas Fortune <tomfortunebcms@gmail.com>

I refer to your application for the above. Can you advise what question you are asking us in relation to the Section 5 application. You have not set out your query under iv on the application form these needs to be completed in order for us to assess this application.

Regards,

Nicola Fleming

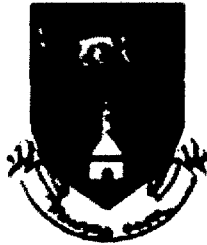
Staff Officer

Planning, Economic & Rural Development

WICKLOW COUNTY COUNCIL, COUNTY BUILDINGS, WICKLOW TOWN, A67 FW96

Ph☎: +353 (0404) 20148 | ✉: nfleming@wicklowcoco.ie

Website: <http://www.wicklow.ie>



This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

Nicola Fleming

From: Nicola Fleming
Sent: Monday 11 November 2024 11:02
To: 'Thomas Fortune'
Subject: EX99/2024 for Altura Credit Union, Main Street, Avoca, Co. Wicklow

I refer to your application for the above. Can you advise what question you are asking us in relation to the Section 5 application. You have not set out your query under iv on the application form these needs to be completed in order for us to assess this application.

Regards,

Nicola Fleming

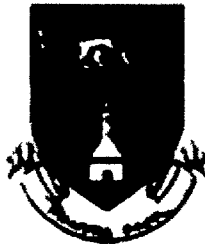
Staff Officer

Planning, Economic & Rural Development

WICKLOW COUNTY COUNCIL, COUNTY BUILDINGS, WICKLOW TOWN, A67 FW96

Ph ☎: +353 (0404) 20148 | ✉: nfleming@wicklowcoco.ie

Website: <http://www.wicklow.ie>



Wicklow County Council
County Buildings
Wicklow
0404-20100

11/11/2024 10 22 29

Receipt No L1/0/336990

ALTURA CREDIT UNION LTD
MCDERMOT STREET
GOREY
CO WEXFORD

EXEMPTION CERTIFICATES	80 00
GOODS	80 00
VAT Exempt/Non-vatable	

Total 80 00 EUR

Tendered
Cheque 80 00

Change 0 00

Issued By Annmarie Ryan
From Customer Service Hub
Vat reg No 0015233H



Wicklow County Council
County Buildings
Wicklow
Co Wicklow
Telephone 0404 20148
Fax 0404 69462

WICKLOW COUNTY COUNCIL

11 NOV 2024

PLANNING DEPT.

Office Use Only

Date Received _____

Fee Received _____

**APPLICATION FORM FOR A
DECLARATION IN ACCORDANCE WITH SECTION 5 OF THE PLANNING &
DEVELOPMENT ACTS 2000 (AS AMENDED) AS TO WHAT IS OR IS NOT
DEVELOPMENT OR IS OR IS NOT EXEMPTED DEVELOPMENT**

1. Applicant Details

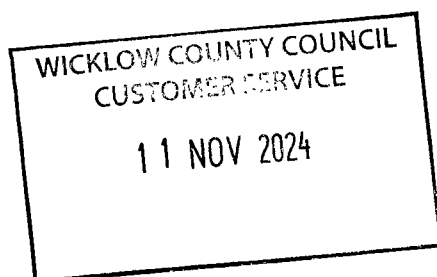
- (a) Name of applicant: ALTURA CREDIT UNION LTD
Address of applicant: MC DERMOT STREET,
GOREY, CO. WEXFORD

Note Phone number and email to be filled in on separate page.

2. Agents Details (Where Applicable)

- (b) Name of Agent (where applicable) PLANNING & DESIGN SERVICES
Address of Agent: CLOWATTIN, GOREY, CO. WEXFORD

Note Phone number and email to be filled in on separate page.



3. Declaration Details

i. Location of Development subject of Declaration
MAIN STREET, AVOCA, CO. WICKLOW

ii. Are you the owner and/or occupier of these lands at the location under i. above ?
Yes/~~No~~ YES

iii. If 'No' to ii above, please supply the Name and Address of the Owner, and or occupier
N/A

iv. Section 5 of the Planning and Development Act provides that : If any question arises as to what, in any particular case, is or is not development and is or is not exempted development, within the meaning of this act, any person may, an payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question. You should therefore set out the query for which you seek the Section 5 Declaration
No

Additional details may be submitted by way of separate submission.

v. Indication of the Sections of the Planning and Development Act or Planning Regulations you consider relevant to the Declaration
POD AMENDMENT NO 2 REGULATIONS 2018.

Additional details may be submitted by way of separate submission.

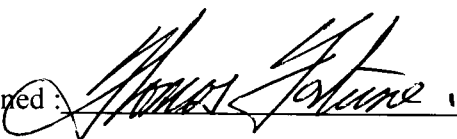
AS ATTACHED.

vi. Does the Declaration relate to a Protected Structure or is it within the curtilage of a Protected Structure (or proposed protected structure) ? _____
NO

vii. List of Plans, Drawings submitted with this Declaration Application _____

HOUSE LAYOUT PLANS - AS EXISTING & EXTS TO REAR
SITE LOCATION MAP > LESS THAN 40M SQ.
SITE LAYOUT PLAN

viii. Fee of € 80 Attached ? YES

Signed:  Dated: 7/11/2024

Additional Notes :

As a guide the minimum information requirements for the most common types of referrals under Section 5 are listed below :

- A. Extension to dwelling - Class 1 Part 1 of Schedule 2 -
- Site Location Map
 - Floor area of structure in question - whether proposed or existing.
 - Floor area of all relevant structures e.g. previous extensions.
 - Floor plans and elevations of relevant structures.
 - Site Layout Plan showing distance to boundaries, rear garden area, adjoining dwellings/structures etc.

B. Land Reclamation - NO

The provisions of Article 8 of the Planning and Development Regulations 2001 (as amended) now applies to land reclamation, other than works to wetlands which are still



COMHAIRLE CONTAE CHILL MCHANTÁIN Wicklow County Council

Forbairt Eagraíochta | AD | Corparáideach
Organisational Development | HR | Corporate

Áras An Chontae / County Buildings
Cill Mhantáin / Wicklow
Guthán / Tel: (0404) 20159
Faics / Fax: (0404) 20112
Rphost / Email: Payroll@wicklowcoco.ie
Rphost / Email: SuperanQueries@wicklowcoco.ie
Suíomh / Website: www.wicklow.ie

12th March 2024

Tom Fortune,
Facilities Manager,
Altura Credit Union Ltd.,
McDermott Street,
Gorey,
Co. Wexford.

Re: **Planning & Development (Amendment) (No 2) Regulations 2018**
Change of use of existing structures used as shop, financial/professional services/office or
as a Residential club/guesthouse/hostel to residential use.
Class 1, 2, 3 or 6 of Part 4 to Schedule 1 Planning & Development Regulations 2001 as
amended.

Applicant: Altura Credit Union, Change of use of premises at Main Street, Avoca, Co. Wicklow Y14
HE19 1 x 2 bed unit.

NOTIFICATION NO 30

A Chara,

I wish to acknowledge receipt of your notification received on the 1st March 2024 with regard to the
change of use of the above premises to residential use.

Please find attached copy of the Planning & Development (Amendment) (No 2) Regulations 2018
and Planning & Development (Exempted Development) Regulations 2022. It is noted that you are
declaring that you are fully compliant with these Regulations which are subject to numerous
conditions and caveats. **Please be aware that the Planning Authority has not carried out an
examination for compliance of the proposed change of use with these Regulations.**

If you wish the Planning Authority to examine whether or not you meet the exemptions set out
under the Regulations, you must make a Section 5 Referral to the Planning Authority, further details
which are available on the Council's website at
[https://www.wicklow.ie/Living/Services/Planning/Planning-applications/Exempted development](https://www.wicklow.ie/Living/Services/Planning/Planning-applications/Exempted%20development).
The Section 5 referral should include sufficient details in order to assess the proposal. Alternatively
you may wish to seek your own independent planning advice in relation to this exemption.

The Planning Authority will enter on record this notification which shall be available for inspection at
the office of the Planning Authority during its office hours and on the Planning Authority's website.

Mise le meas

ADMINISTRATIVE OFFICER
PLANNING DEVELOPMENT & ENVIRONMENT.

Encls



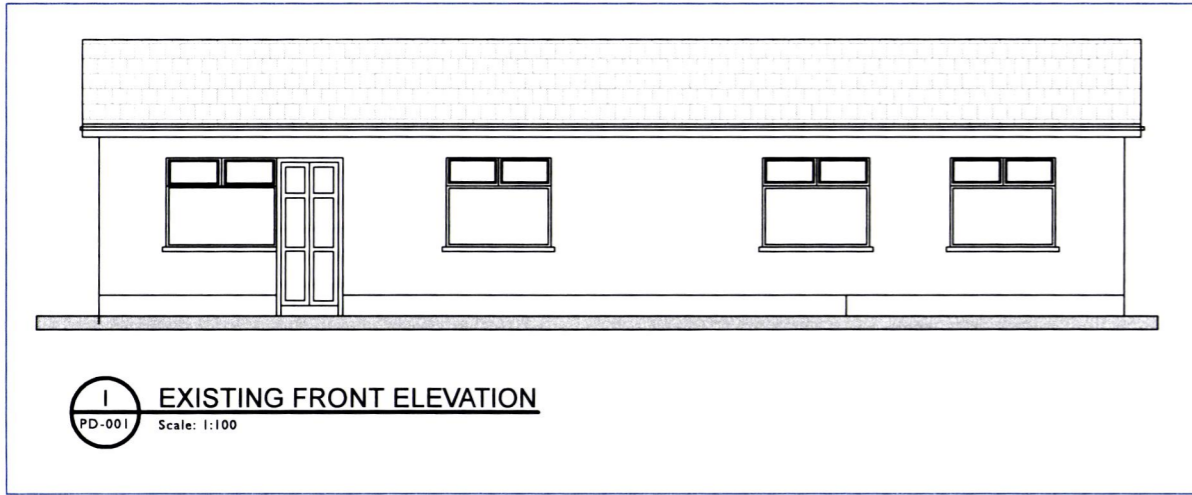
governed by Schedule 2, Part 3, Class 11. Note in addition to confirmation of exemption status under the Planning and Development Act 2000(as amended) there is a certification process with respect to land reclamation works as set out under the European Communities (Environmental Impact Assessment) (Agriculture) Regulations 2011 S.I. 456 of 2011. You should therefore seek advice from the Department of Agriculture, Fisheries and Food.

Any Section 5 Declaration should include a location map delineating the location of and exact area of lands to be reclaimed, and an indication of the character of the land.

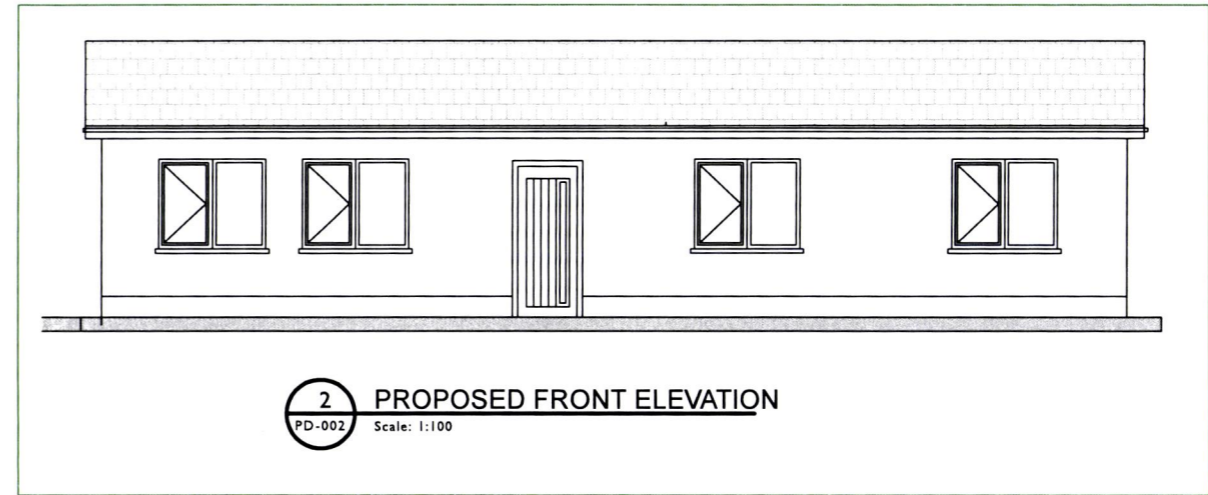
C. Farm Structures - Class 6 -Class 10 Part 3 of Schedule 2.

- Site layout plan showing location of structure and any adjoining farm structures and any dwellings within 100m of the farm structure.
- Gross floor area of the farm structure
- Floor plan and elevational details of Farm Structure and Full details of the gross floor area of the proposed structure.
- Details of gross floor area of structures of similar type within the same farmyard complex or within 100metres of that complex.

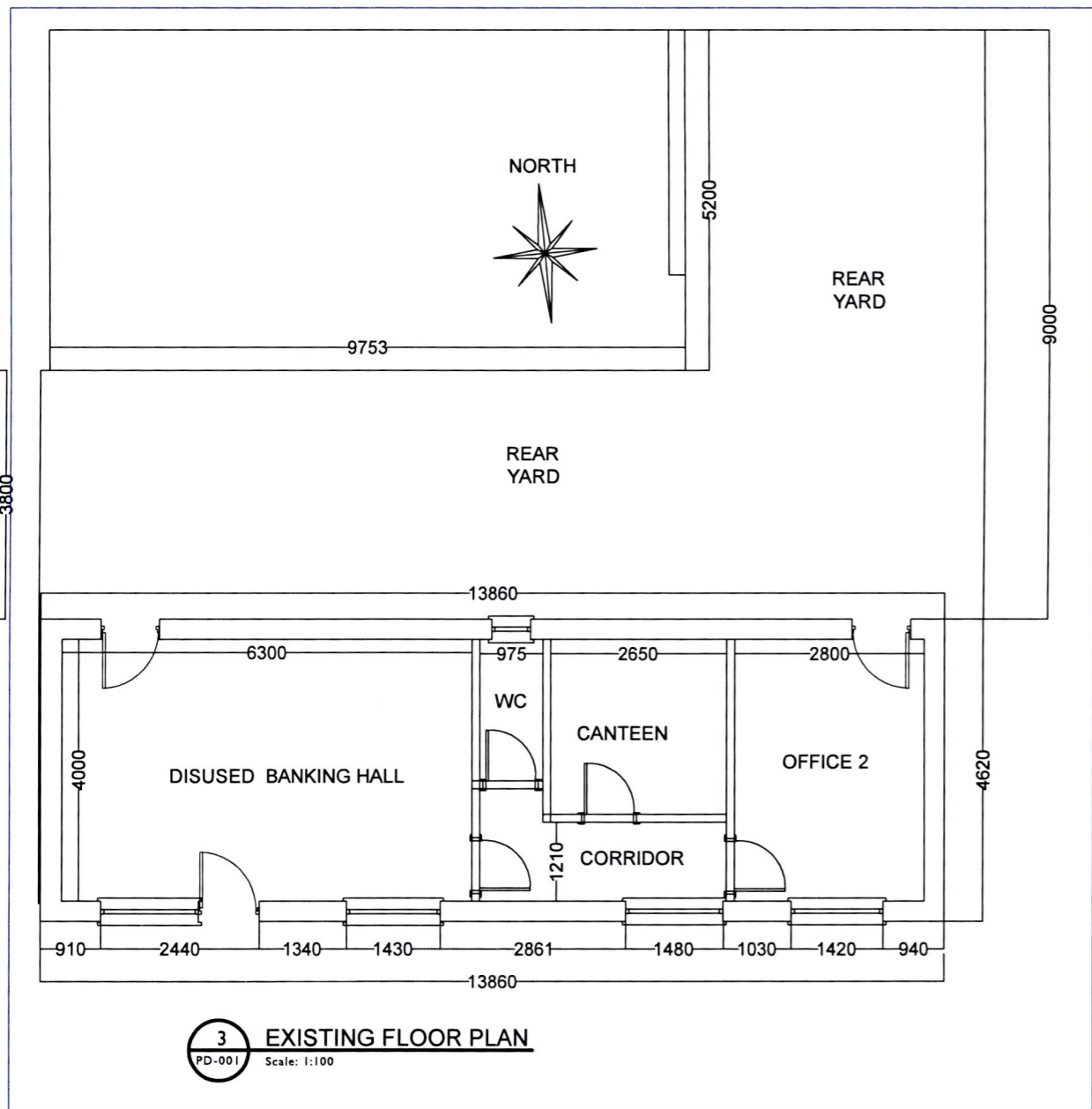
APPLICANTS:



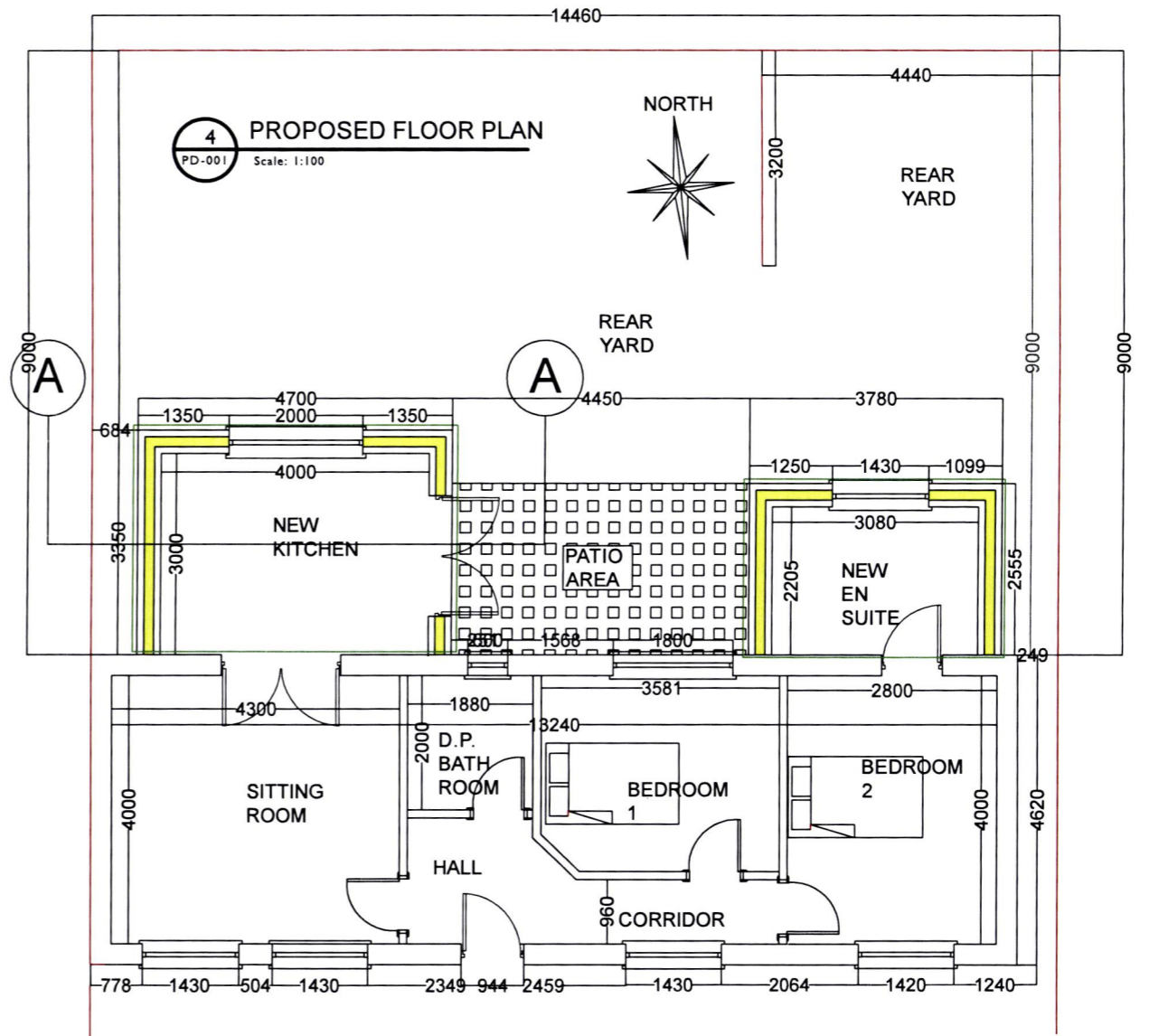
1 EXISTING FRONT ELEVATION
 PD-001 Scale: 1:100



2 PROPOSED FRONT ELEVATION
 PD-002 Scale: 1:100



3 EXISTING FLOOR PLAN
 PD-001 Scale: 1:100



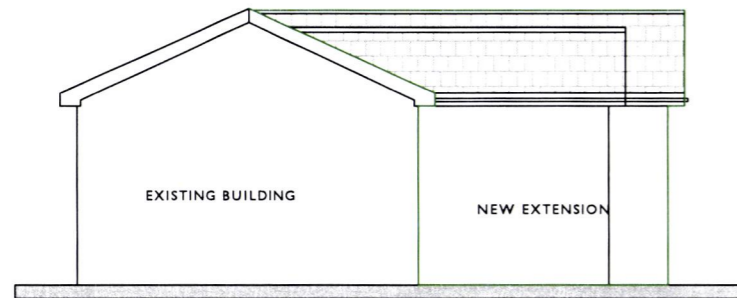
4 PROPOSED FLOOR PLAN
 PD-001 Scale: 1:100

PROPOSED DEVELOPMENT AT: Avoca Village, Avoca, Co. Wicklow

CHANGE OF USE FROM CREDIT UNION OFFICE TO A DWELLING UNIT	project:	CHANGE OF USE FROM A CREDIT UNION OFFICE TO A DWELLING UNIT	SHEET NUMBER	One of Four	CLIENTS:	Altura Credit Union
	PLANNING & DESIGN	Cionatlin, Gorey, Co Wexford	drawing no.:	PD101	drawing scale:	AS SHOWN
No dimension is to be scaled, use only measured dim. if in doubt, ASK!			drawing series / issue:	CONSTRUCTION DRAWINGS	date:	29-02-2024



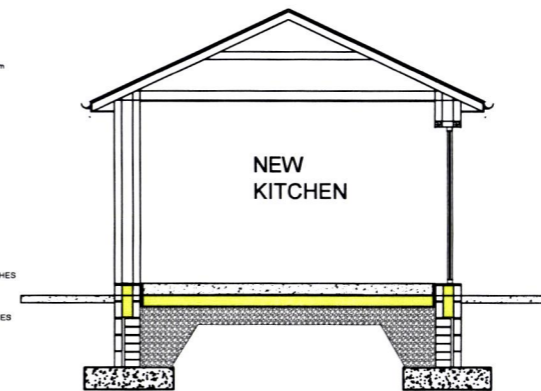
1 PROPOSED SIDE ELEVATION
PD-002 Scale: 1:100



3 SECTION : A-A
PD-002 Scale: 1:100

WALLS:
WALLS SHALL BE FORMED WITH 2x150mm X 7.5m MEDIUM DENSITY CONCRETE BLOCK LEAVES WITH 150mm CAVITY 145mm POLYISO INSULATION.
THE INNER LEAF OF THE CAVITY WALLS SHALL BE FITTED WITH 82mm THERMAL WALLBOARD MECHANICALLY FIXED TO A 15mm SCRATCH COAT OF PLASTER (FOR AIR TIGHTNESS) GYPSUM SKIMMED TO FINISH.
THE EXTERNAL WALLS SHALL BE RENDERED EXTERNALLY WITH A 12mm NAPP RENDER COAT OVER A 10mm SCRATCH COAT OF SAND & CEMENT ON SMOOTHED WALLS. PAINT TO MATCH DWELLING.

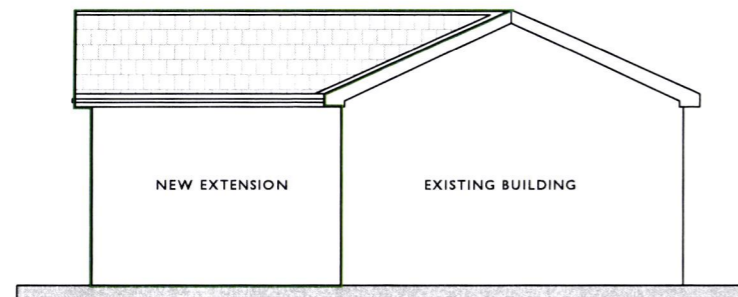
FOUNDATIONS:
DEPTHS, WIDTHS AND EXTENT OF CONCRETE FOUNDATIONS SHALL BE DETERMINED BY THE NATURE, CONDITION AND BEARING QUALITY OF THE SUBSOILS. FOLLOWING AN INSPECTION BY A QUALIFIED STRUCTURAL ENGINEER.
FOUNDATION TYPES OTHER THAN STRIP FOUNDATIONS MAY BE REQUIRED.
FOUNDATIONS FOR 350mm CAVITY WALLS SHALL BE A MINIMUM OF 1100mm WIDE BY 350mm DEEP X 35x20 CONCRETE LAID IN TRENCHES A MINIMUM OF 800mm BELOW GROUND LEVEL TO THE BASE OF THE CONCRETE.
FOUNDATIONS FOR 100mm INTERNAL WALLS SHALL BE A MINIMUM OF 800mm WIDE BY 350mm DEEP X 35x20 CONCRETE LAID IN TRENCHES A MINIMUM OF 800mm BELOW GROUND LEVEL TO THE BASE OF THE CONCRETE.
A SLUMP TEST TO BS8 SHALL BE CARRIED OUT ON EACH BATCH OF CONCRETE DELIVERED TO THE SITE.



ROOF CONSTRUCTION:
CONCRETE ROOF TILES TO MATCH EXISTING HOUSE ON 50 x 25mm TREATED TIMBER BATTENS @ 250 CCS ON FAKRO EUROTOP N35 135g m2 ROOFING MEMBRANE USE FAKRO EUROTOP 985 AT EAVES
150x50mm TIMBER RAFTERS @ 400 CCS RAFTERS SHALL BE BIRDIMBOLTED ONTO 100x75mm TREATED TIMBER WALLPLATE SCREWED AND STRAPPED TO WALLS WHERE A HIP ROOF IS USED USE HALF JOINTS AT THE CORNERS OF AND USE GALVANISED STEEL ANGLE STRAPS TO TIE TOGETHER THE WALL
@ 1200mm CCS WITH GALVANISED STEEL STRAPS PROVIDE 225x75mm TIMBER PURLINS AT MID HEIGHT IN THE ROOF VOID SUPPORTED WITH 125x50mm TIMBER STRUTS @ 1200mm CCS AND 125x50mm HANGERS FIXED TO RAFTERS AT THE APEX. A 100x50mm TIMBER RUNNER SHALL BE CARRIED ALONG THE TOP OF THE CEILING JOIST WHERE THE STRUTS AND HANGERS MEET TO SPREAD THE LOAD EVENLY OVER THE CEILING JOISTS ALL CEILING JOISTS SHALL BE DOUBLED UP UNDER ALL STRUTS
PROVIDE 30x5mm GALVANISED LATERAL SUPPORT STRAPS AT 2m CCS TO BRACE CEILING JOIST TO WALLS
ALL ROOFING TIMBERS TO BE SIZED TO COMPLY WITH IS 444
ALL TIMBERS TO BE STAMPED TO INDICATE THEIR STRENGTH RATING
ALL MATERIALS USED SHOULD CARRY CE OR AGREEMENT BOARD
CERTIFICATION COPIES OF THESE CERTIFICATES SHOULD BE OBTAINED FROM YOUR SUPPLIER AND HANDED OVER TO YOUR ASSIGNED CERTIFIER

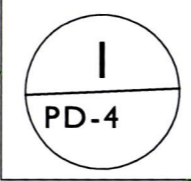
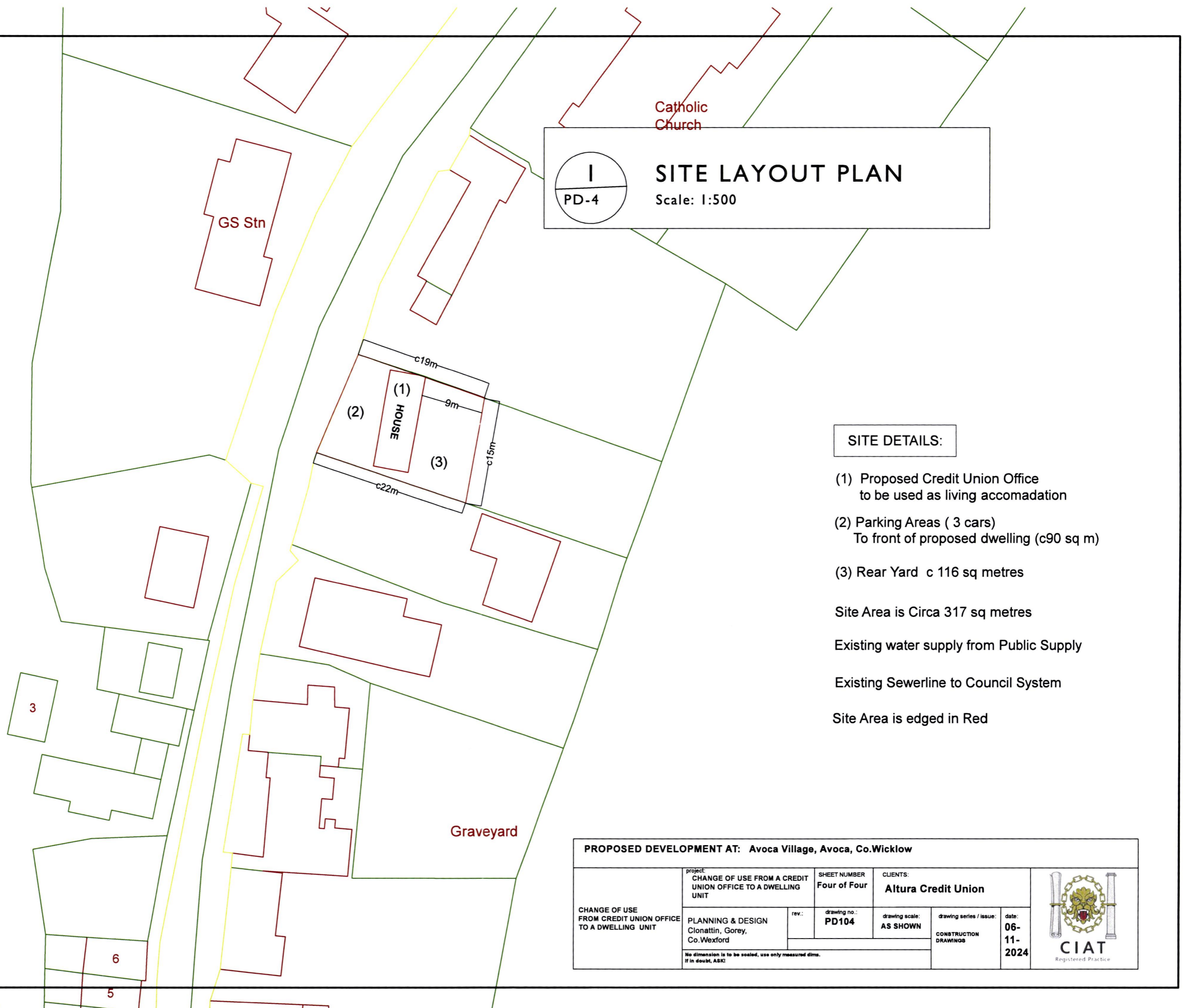
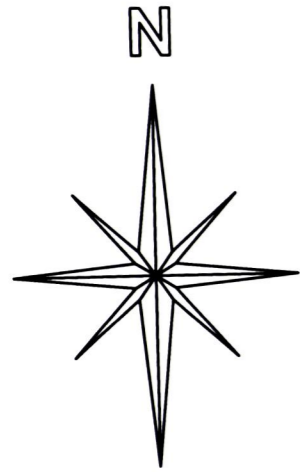
FLOORS:
150mm x 35N19 CONCRETE POWER FLOATED FINISHED FLOOR
ON 150mm OF EXTRATHERM XTUF FLOOR INSULATION
ON 50mm Sand PLACE 50mm OF EXTRATHERM XTUF FLOOR INSULATION
AROUND ENTIRE PERIMETER OF BASE THERMOLITE BLOCKS ON THE LAYER ON RHYNOPLAST RADON BARRIER
FIT RADON BUMP WITH 110mm DISCHARGE PIPE TO EXTERNAL WALLS OF HOUSE. TERMINATE WITH A 90degree EASI BUMP CAP
PLACE A 25mm SAND SCREED ON 300mm OF ANNEX E SR 21 FILL WELL COMPACTED IN LAYERS OF 25mm.

2 PROPOSED SIDE ELEVATION
PD-002 Scale: 1:100



PROPOSED DEVELOPMENT AT: Avoca Village, Avoca, Co.Wicklow						
CHANGE OF USE FROM CREDIT UNION OFFICE TO A DWELLING UNIT	project:	CHANGE OF USE FROM A CREDIT UNION OFFICE TO A DWELLING UNIT	SHEET NUMBER	CLIENTS:		
			Two of Four	Altura Credit Union		
	PLANNING & DESIGN	rev.:	drawing no.:	drawing scale:	drawing series / issue:	date:
			PD102	AS SHOWN	CONSTRUCTION DRAWINGS	06-11-2024
No dimension is to be scaled, use only measured dims. If in doubt, ASK!						





SITE LAYOUT PLAN
Scale: 1:500

SITE DETAILS:

- (1) Proposed Credit Union Office to be used as living accomadation
- (2) Parking Areas (3 cars) To front of proposed dwelling (c90 sq m)
- (3) Rear Yard c 116 sq metres

Site Area is Circa 317 sq metres
 Existing water supply from Public Supply
 Existing Sewerline to Council System
 Site Area is edged in Red

PROPOSED DEVELOPMENT AT: Avoca Village, Avoca, Co.Wicklow					
CHANGE OF USE FROM CREDIT UNION OFFICE TO A DWELLING UNIT	project:	CHANGE OF USE FROM A CREDIT UNION OFFICE TO A DWELLING UNIT	SHEET NUMBER	Four of Four	
	clients:	Altura Credit Union			
	PLANNING & DESIGN Clonattin, Gorey, Co.Wexford	rev.:	drawing no.:	drawing scale:	drawing series / issue:
			PD104	AS SHOWN	date:
				CONSTRUCTION DRAWINGS	06-11-2024
<small>No dimension is to be scaled, use only measured dims. If in doubt, ASK!</small>					





Description:
 Digital Landscape Model (DLM)

Publisher / Source:
 Ordnance Survey Ireland (OSi)

Data Source / Reference:
 PRIME2

File Format:
 Autodesk AutoCAD (DWG_R2013)

File Name:
 v_50345046_1.dwg

Clip Extent / Area of Interest (AOI):
 LLX,LLY= 718788.5,679815.0
 LRX,LRX= 719371.5,679815.0
 ULX,ULY= 718788.5,677245.0
 URX,URY= 719371.5,677245.0

Projection / Spatial Reference:
 Projection= IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
 X,Y= 719080.0,677030.0

Reference Index:
 Map Series | Map Sheets
 1:2,500 | 4368-B

Data Extraction Date:
 Date= 10-Jul-2023

Source Data Release:
 DCMLS Release V1.166.116

Product Version:
 Version= 1.4

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The representation on this map of a road, track or footpath is not evidence of the existence of a right of way.


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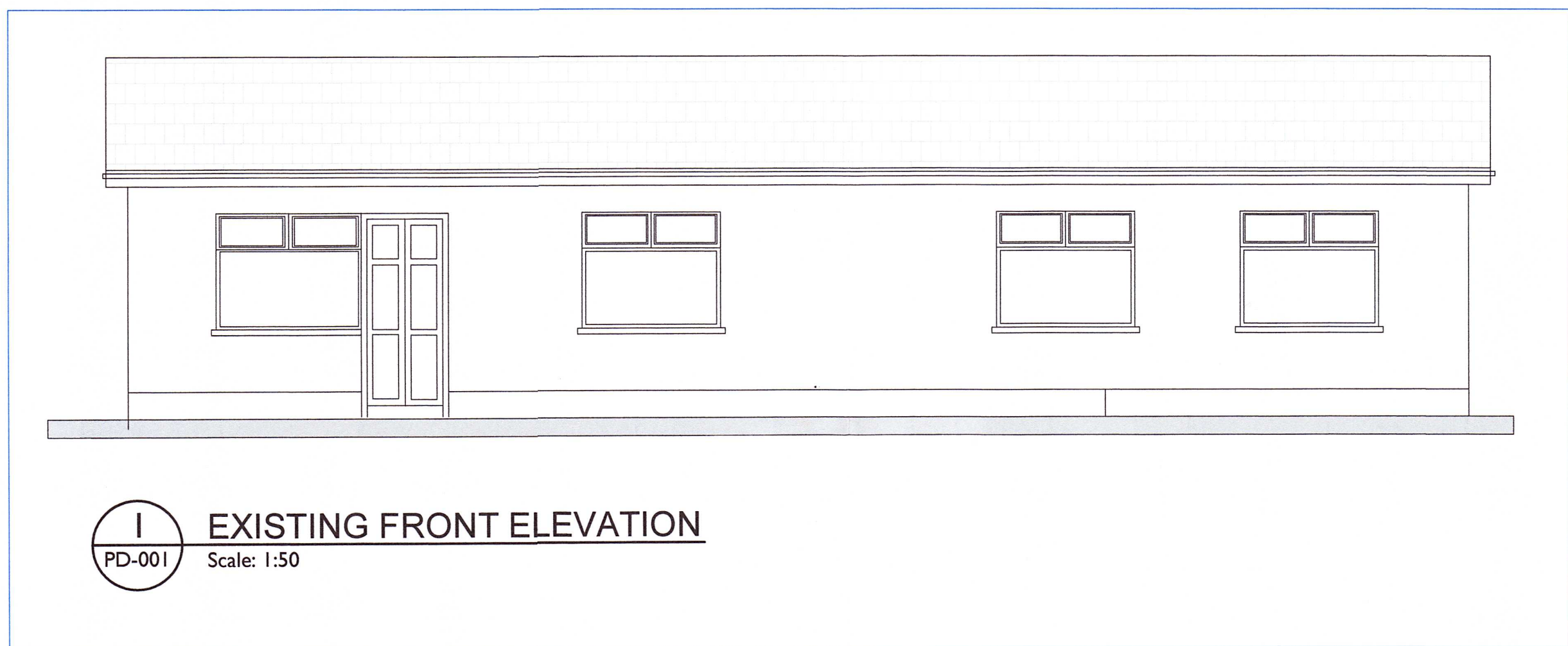
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Arna thionsú agus arna fhoilsiú ag Suirbhéireacht Ordnáis Éireann, Páirc an Fhionnuisce, Baile Átha Cliath 8, Éire.

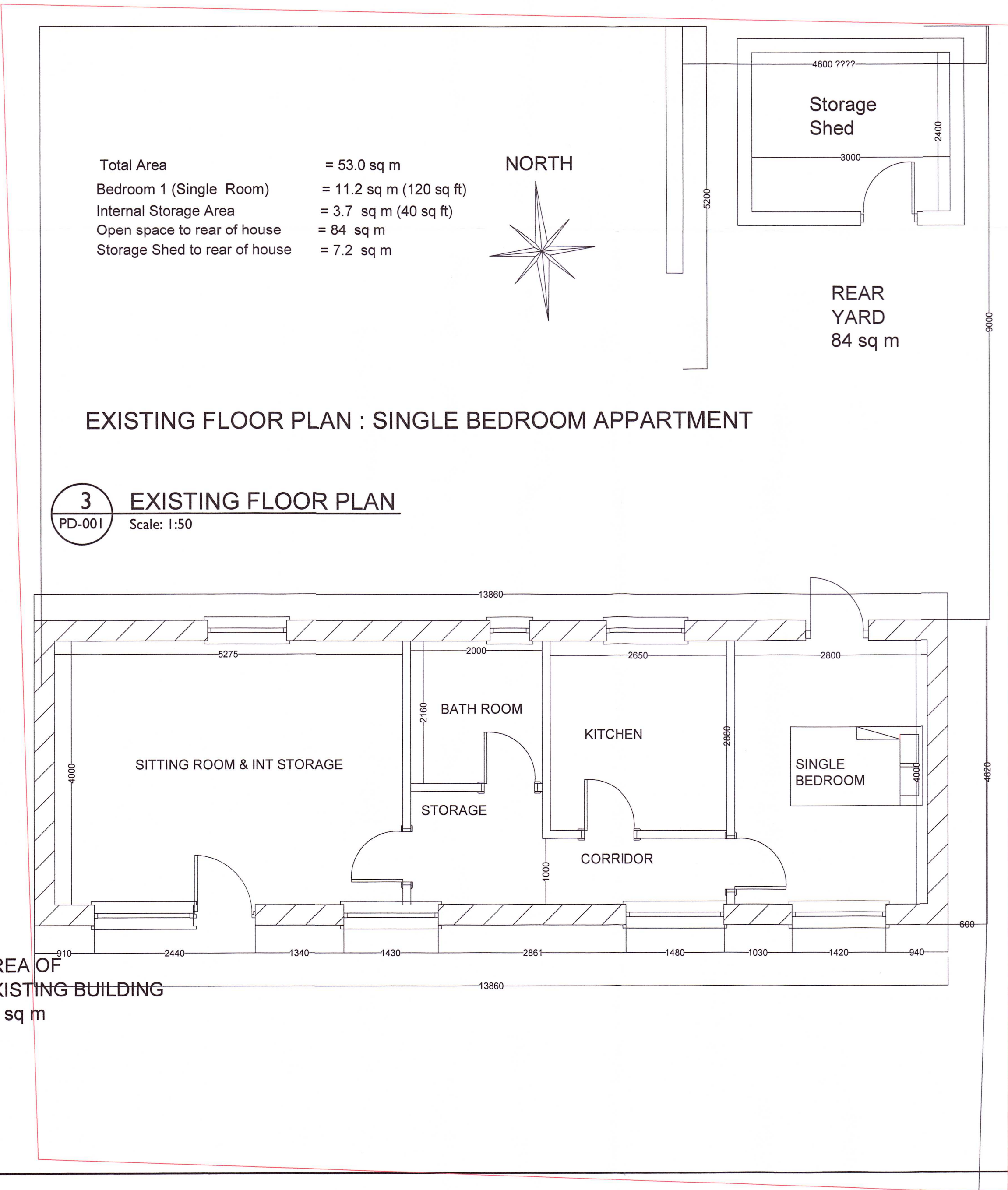
Sáraíonn atáirgeadh neamhúdaraithe cóipcheart Shuirbhéireacht Ordnáis Éireann agus Rialtas na hÉireann.

I
 PD-3
SITE LOCATION MAP
 Scale: 1:1000


PROPOSED DEVELOPMENT AT: Avoca Village, Avoca, Co.Wicklow					
CHANGE OF USE FROM CREDIT UNION OFFICE TO A DWELLING UNIT	project:	CHANGE OF USE FROM A CREDIT UNION OFFICE TO A DWELLING UNIT	SHEET NUMBER	CLIENTS:	
	PLANNING & DESIGN	Clonattin, Gorey, Co.Wexford	Three of Four	Altura Credit Union	
	rev.:		drawing no.:	drawing scale:	drawing series / issue:
			PD103	AS SHOWN	date:
				CONSTRUCTION DRAWINGS	06-11-2024
	No dimension is to be scaled, use only measured dims. If in doubt, ASK!				
					 CIAT Registered Practitioner

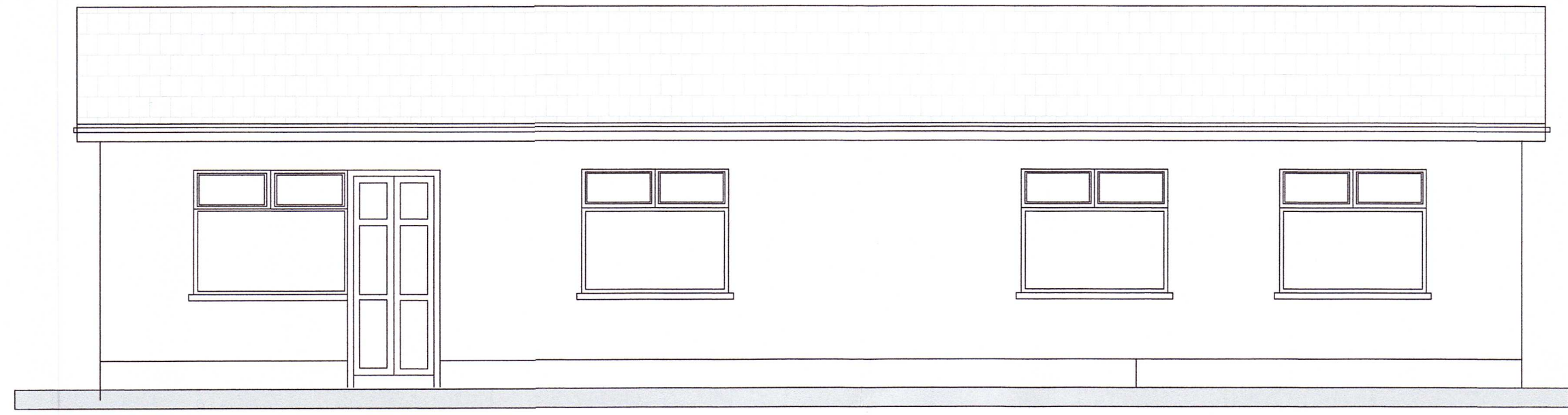


1 EXISTING FRONT ELEVATION
 PD-001 Scale: 1:50

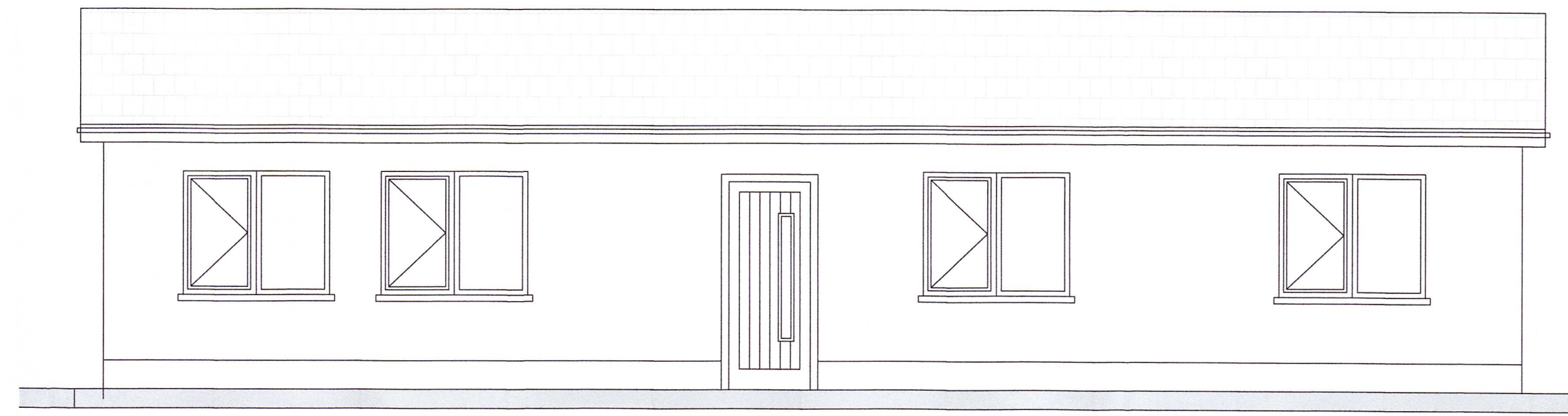


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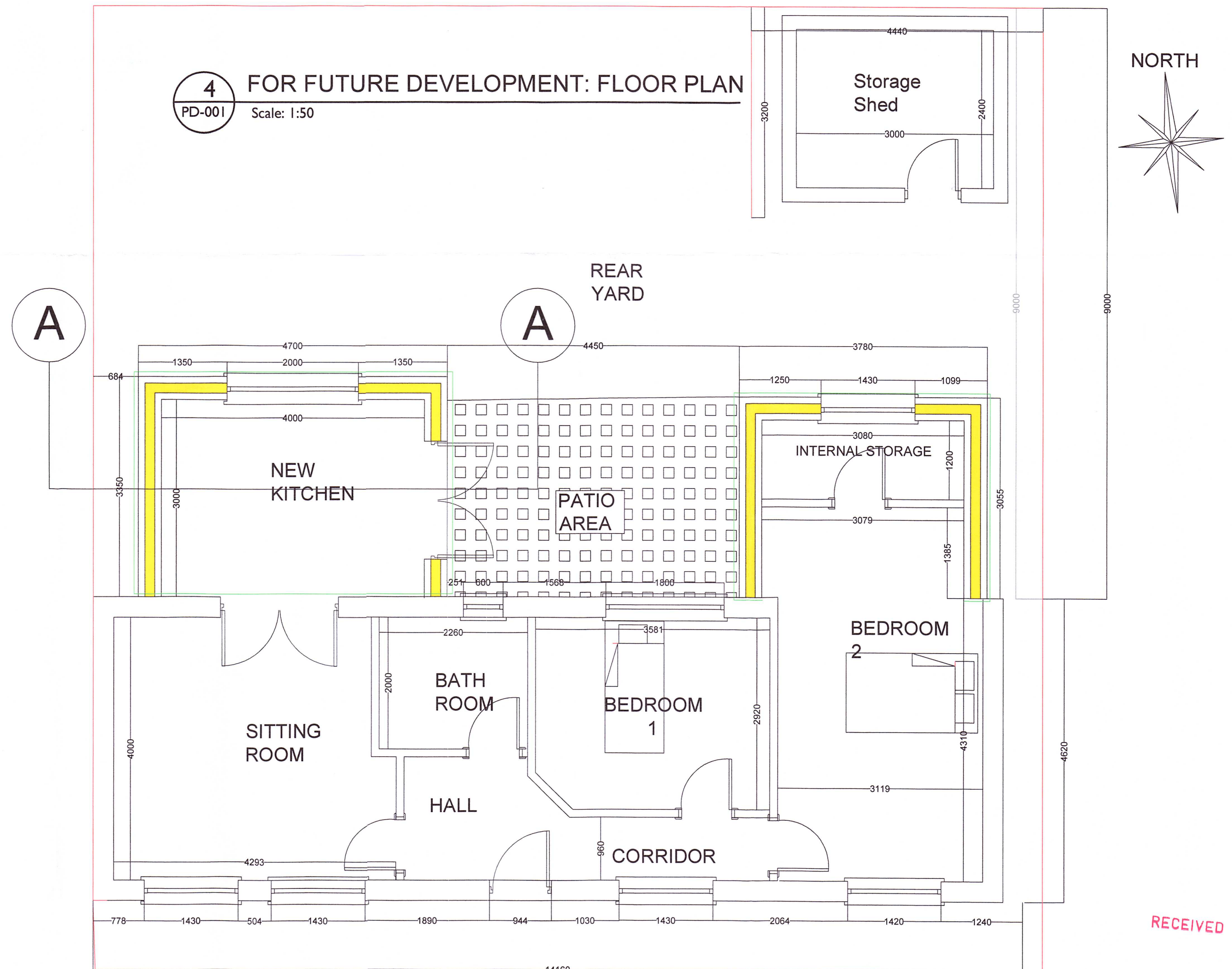
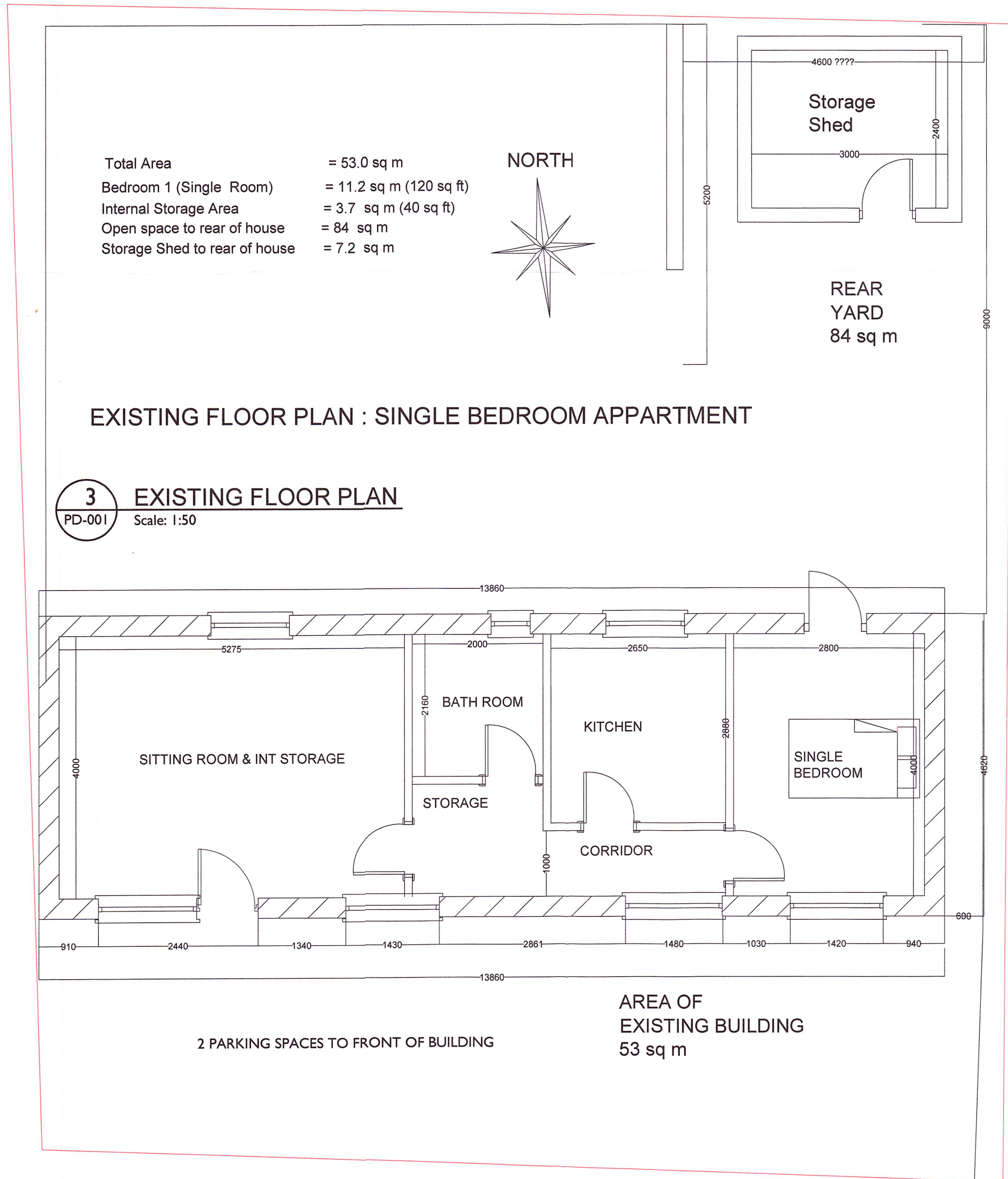
PROPOSED DEVELOPMENT AT: Avoca Village, Avoca, Co.Wicklow			
PROJECT CHANGE OF USE FROM A CREDIT UNION OFFICE TO A DWELLING UNIT	SHEET NUMBER One of Four	CLIENT Altura Credit Union	
PLANNING & DESIGN Consulting, Copy, Co. Wicklow	DRAWING NO. PD101	DRAWING SCALE AS SHOWN	
DATE 12-2024	CONSTRUCTION DRAWINGS	DATE 07-12-2024	



1 EXISTING FRONT ELEVATION
 PD-001 Scale: 1:50



2 PROPOSED FRONT ELEVATION
 PD-002 Scale: 1:50



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PROPOSED DEVELOPMENT AT: Avoca Village, Avoca, Co.Wicklow			
PROJECT: CHANGE OF USE FROM A CREDIT UNION OFFICE TO A DWELLING UNIT	SHEET NUMBER: One of Four	CLIENTS: Altura Credit Union	
PLANNING & DESIGN: Clonahilly, Gorey, Co.Wexford	DRAWING NO.: PD101	DRAWING DATE: AS SHOWN	
DATE: 07-12-2024	CONSTRUCTION: AS SHOWN	DATE: 07-12-2024	